

North Logan City

Commercial Design Guidelines

This chapter provides general guidelines for the design of the commercial developments in all areas of the City, except for the City Center area that has its own guidelines. Retail and commercial businesses include those that serve local needs.

Additionally, any addition, remodeling, relocation, or construction requiring a building permit within any commercial district should adhere to these guidelines.

Common elements found in well-designed commercial projects include:

- Site Planning,
- Landscaping,
- Building Design, and
- Utilitarian Aspects.

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Design Guidelines

Site Planning

Guidelines:

- a. Buildings that possess unique qualities, such as cultural significance, unusual or identifiable architectural styles, or significance, should be preserved and incorporated into development proposals. (Figure 3)
- b. Buildings should be oriented toward public spaces and should not back onto existing or planned amenities such as parks, open space, water features, etc. (Figures 1, 2, 4)
- c. Projects should create attractive streetscapes and should be designed using high-quality materials.
- d. Loading and service areas, trash enclosures and storage areas, mechanical equipment, and utility meters should be screened and located as far as possible from the street and adjacent properties.

Lot Layout

Intent:

Buildings and landscaping employing the highest degree of quality provide a direction for new development. When the scale, materials, and architectural character blend with what is already established and is considered of the highest quality, the City is continuously woven together. Buildings should generally be oriented parallel to and close to the street, thus providing interesting architecture and building mass rather than asphalt parking lots to define the street edge.



Figure 1



Figure 2

Projects adjacent to parks, plazas or other public amenities should be oriented toward the public space

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- e. Driveway access points and internal circulation should be located as far away as possible from residential properties, schools, parks, and other sensitive uses.
- f. Loading areas and service areas at the rear or side of buildings close to the street should be screened with decorative walls, trellises and vines, berming with heavy landscaping, dense trees, or a combination of these treatments.



Buildings with historical significance should be preserved and incorporated into the project

Figure 3

Projects should be oriented toward the public space

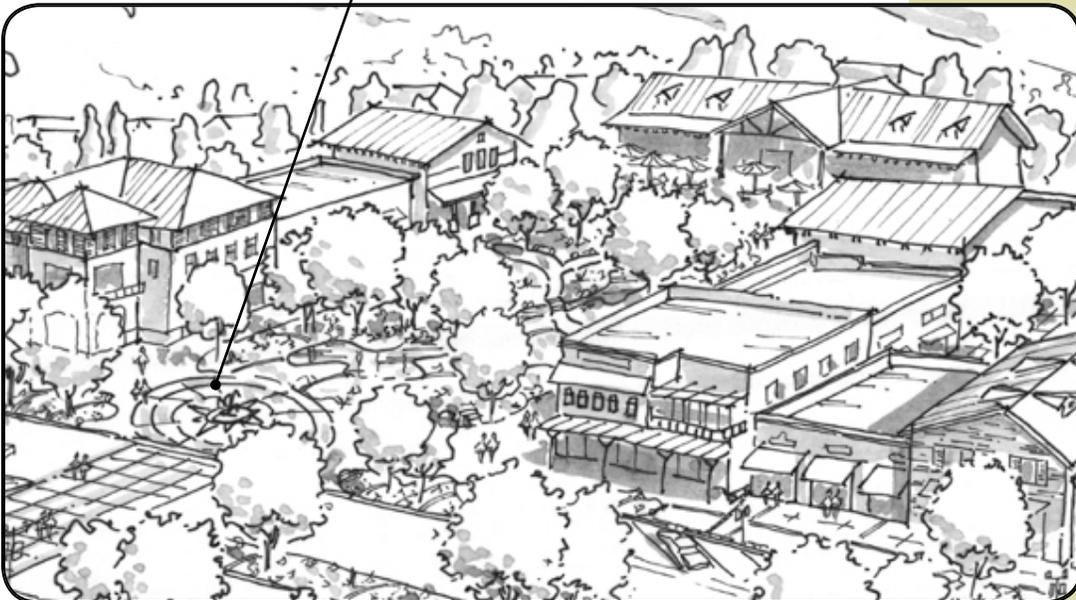


Figure 4

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Site Planning

- g. Building should be placed at front setback lines to define and enliven the street. Landscaping should be installed between the street and/or edge of the sidewalk and the building to soften the massing and provide a pedestrian scale to walkways. (Figures 5, 7, 8)
- h. A minimum 10-foot setback shall be provided between a commercial use parcel and a single-family residential use parcel. (Figure 6)

Lot Layout continued

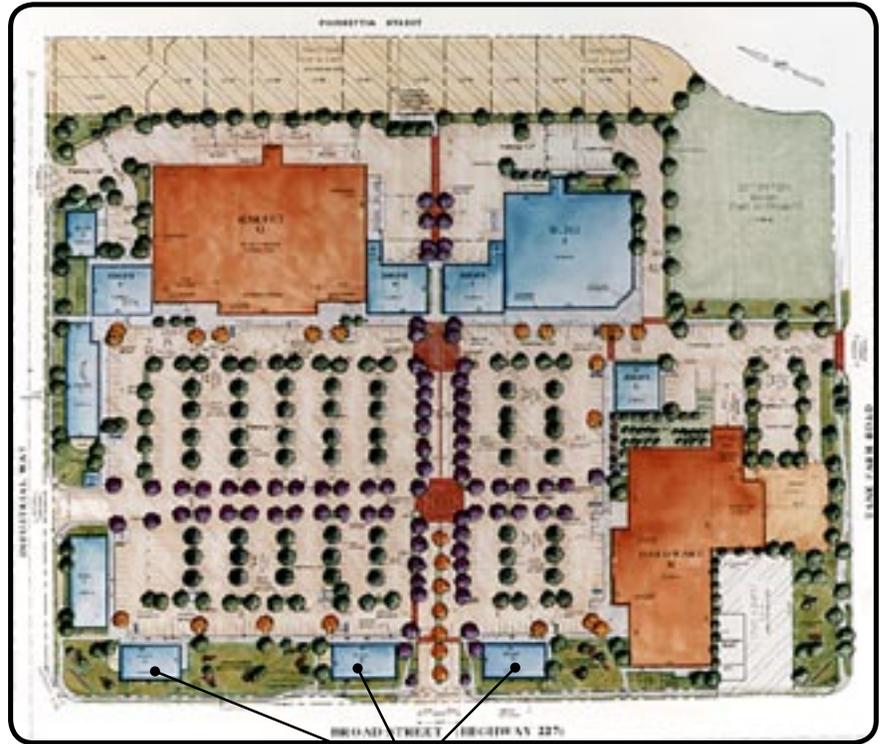


Figure 5

Pad buildings placed at the street edge create a desirable street scene

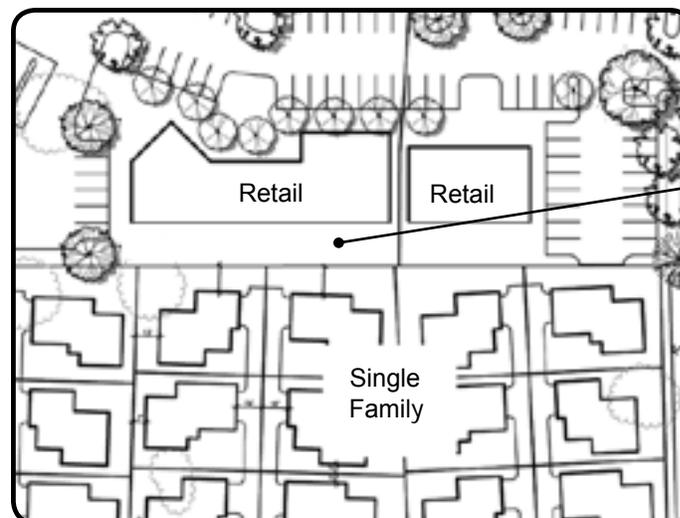
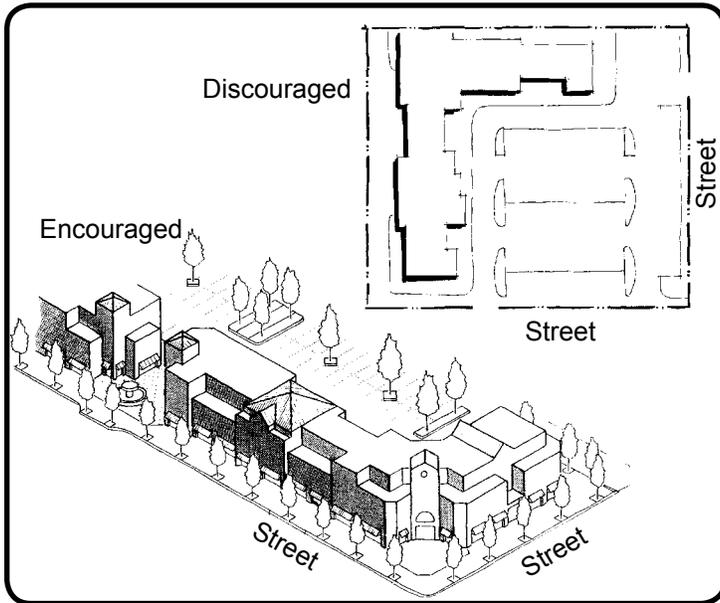


Figure 6

A minimum 10' setback shall be provided between a single-family residential lot and non-residential parcels

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Dated "L" shaped suburban shopping centers should be avoided in favor of clusters of smaller buildings with pad buildings at the street

- i. There should be no blank walls on any side of any building within a project. Loading and service areas should never face the street, but site constraints may permit these areas to be located along a street if properly screened.
- j. Dated "L" shaped suburban shopping centers should be avoided. Clusters of smaller buildings with pad buildings at the street edge are strongly encouraged. (Figure 7)

Figure 7

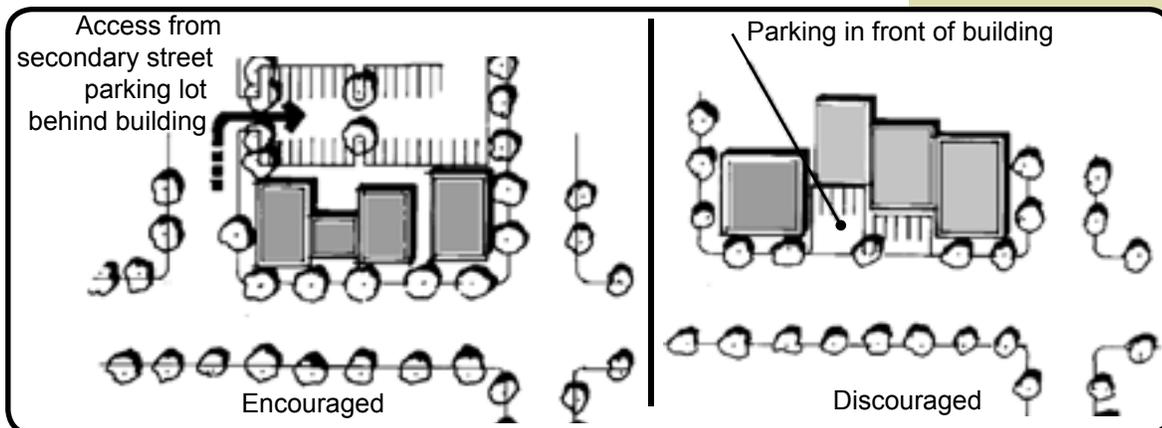


Figure 8

Examples of commercial site plan layouts

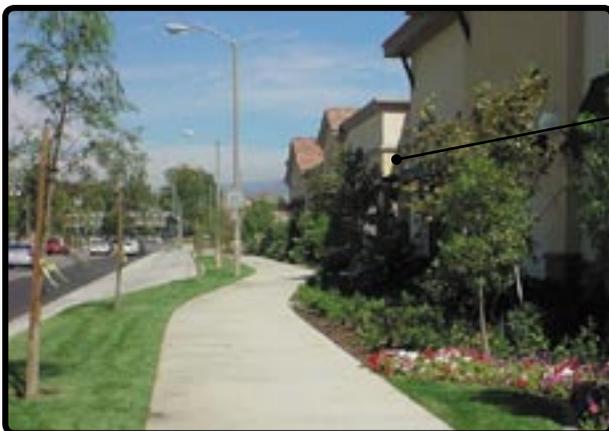


Figure 9

Buildings should be placed at street frontage

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Design Guidelines

Site Planning

Guidelines:

- a. A combination of the following accent features shall be incorporated into the project entry: standard ornamental landscaping, landscaped medians, water features, architectural monuments, decorative walls, and/or enhanced paving. (Figures 10)

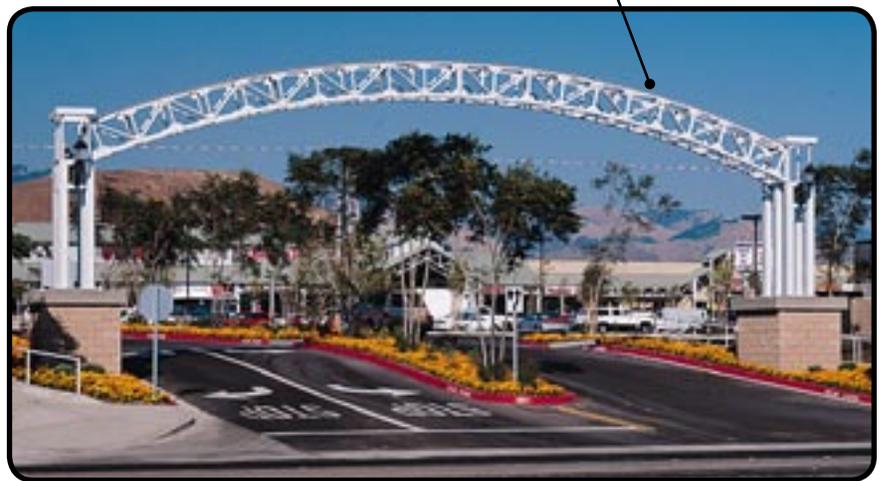
Project Entry and Character

Intent:

Site amenities, entries, and features should be coordinated to complement one another and create a unified project appearance.



Gateways create a sense of entry that is easily identifiable



Figures 10

Commercial Guidelines

- b. Project entry features shall reflect the overall architectural identity or character of the development. (Figures 10)
- c. Project icons, thematic arches, special paving treatment, water fountains, and mature, full-sized landscaping should be used to unify a project. (Figures 10)



Water features enhance project entries and help to establish the character of the development



Figures 10

This pedestrian-scaled gateway helps to establish a focal point for this smaller commercial plaza

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Design Guidelines

Site Planning

Guidelines:

- a. Excessive cut and fill shall be avoided by following natural contours when possible.
- b. Slopes shall be rounded and contoured to blend with the existing terrain and to minimize grade differentials with adjacent streets and properties. (Figures 11, 12)
- c. Grading should generally follow the natural contours of the land. Parking lots, stepped building pads, and larger setbacks should be used to preserve the general shape of natural land forms. (Figures 11, 12, 15)
- d. All cuts and fills shall be at a 2:1 slope or less. (Figure 11)

Grading and Drainage

Intent:

Grading and drainage shall be coordinated in the initial design phase of the project to ensure the most natural and least evasive approach and that National Pollution Discharge Elimination System (NPDES) requirements are met.

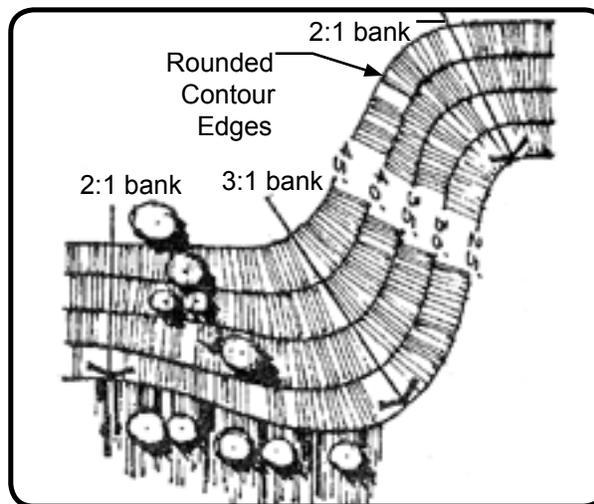


Figure 11

Encouraged - Variety in slope bank gradients creates a more natural appearance

Contours shall be rounded to blend with the existing terrain and simulate a natural grade

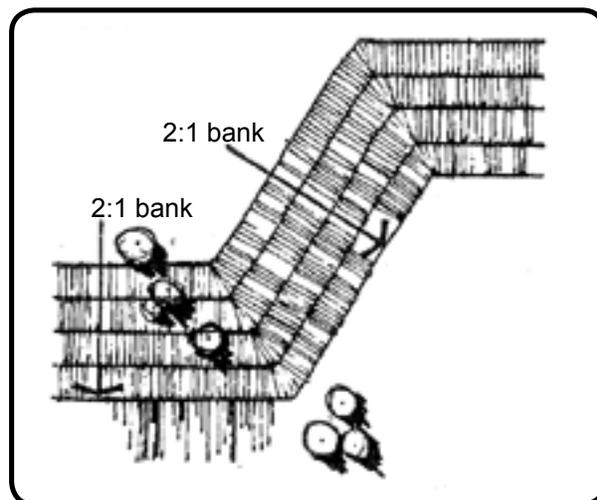


Figure 12

Discouraged - Engineered slope banks look forced and unnatural

Commercial Guidelines



Figure 13

Curb cuts for parking lot runoff to enter swales



Figure 14

Stormwater detention ponds shall be designed as a landscape feature



Figure 15

Stepped building pads are encouraged on sloped sites

- g. Project design shall provide for controlled drainage of stormwater away from buildings.
- h. Detention basins should not be located within the front setback unless designed as an attractive landscape element. Stormwater retention ponds shall be designed as landscape features rather than as large, unadorned depressions in the site. (Figures 13, 14)
- i. Permanent stormwater drainage facilities shall be used to transmit stormwater whenever possible. (Figure 13)
- j. The use of bioswales is encouraged when this option is feasible for meeting NPDES goals and objectives.

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Guidelines:

- a. Commercial developments with multiple tenants shall provide common outdoor plaza areas. (Figures 16, 18)
- b. Employee break areas and outdoor use areas should be sheltered as much as possible from the noise and traffic of adjacent streets and other incompatible uses. (Figure 18)
- c. Outdoor amenities should be compatible with the project architecture and should be carefully considered as integral elements of the project.
- d. Outdoor amenities should be included in and shown on all site and landscaping plans.

Plaza Spaces

Intent:

Plazas and outdoor use areas should be designed and integrated into the project. These areas should provide shade trees or shade structures and pedestrian amenities such as benches, fountains, landscaping, and public art.



Benches or seating, trash containers, and landscaping or shade devices should be included in plaza spaces

Figure 16

Common plaza spaces should be provided in developments with more than one tenant

Commercial Guidelines



If not properly screened, vending machines can be unsightly and are discouraged

Figure 17



Outdoor furniture should be compatible with the project architecture

Figure 18



Discouraged

Figures 19

Newspaper racks should be consolidated



Encouraged

- e. Newspaper racks, bus stops, and phone booths should be compatible with the design, including colors, of the main structure.
- f. Newspaper racks should be consolidated into a single unit to reduce visual clutter. (Figures 19)
- g. Exterior vending machines are discouraged. (Figure 17)
- h. The areas between buildings should be planned and purposely designed, not simply left over spaces between buildings.

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Site Planning

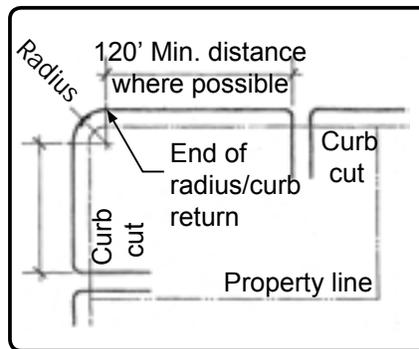
Guidelines:

- a. Driveway entries shall align with existing or planned median openings and adjacent driveways.
- b. Site plans should avoid or eliminate unnecessary driveway entrances. Interconnecting access drives are required by code to link adjacent properties (interconnectivity). (Figure 25)
- c. A main drive aisle serving a parking area should be a maximum of 40 feet in width. (Figure 26)
- d. Curb cuts on corner lots shall not be located closer than 150 feet from a curb return. Where parcel size precludes this distance, the curb cut shall be located as far from the curb return as possible. The larger the right-of-way of the street, the greater the distance should be from the curb cut to the curb return. A curb return is defined as the point where the radius of a curve or intersection ends. (Figure 20)
- e. Colored, textured and permeable paving treatments are encouraged at entry drives. (Figure 21)

Access and Circulation

Intent:

Parking lots should be designed to allow for customers and deliveries to easily reach the site, circulate through the parking lot, and exit the site. Clear, easily understandable circulation should be designed into the project to allow drivers and pedestrians to move through the site without confusion.



Example of appropriate curb cut location

Figure 20



Figure 21

Flowering vegetation on a roundabout and special paving treatment distinguish this project entry

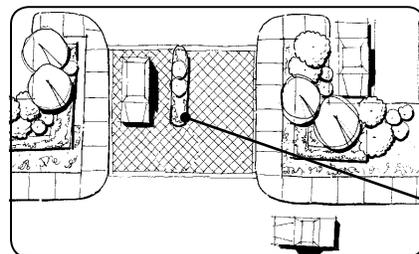


Figure 22

A landscaped center median creates a entry focal point

Commercial Guidelines

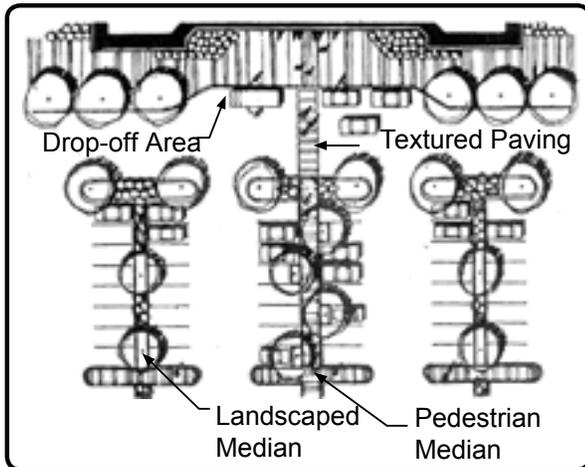


Figure 23

In large parking areas, pedestrian walkways, landscaped medians, and drop-off areas shall be provided



Figure 24

Parking spaces shall not be located along the main drive aisle

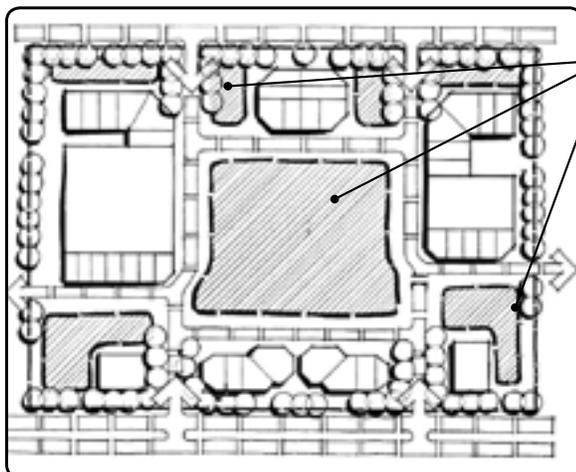


Figure 25

A series of smaller parking areas is preferred to one large parking lot

Reciprocal access shall be provided to adjacent properties

- f. Divide large parking lots into a series of connected smaller lots using raised landscaping strips, pedestrian paths accented with special paving, and access drives. (Figure 25)
- g. Large parking lots shall incorporate the following entry elements: (Figure 22)
 - A minimum 5-foot wide sidewalk should connect the building with the parking lot in a parking aisle.
 - Two 10-foot landscaped parkways flanking both sides of the entry drive.
- h. In large parking lots, spaces shall not be located along the main drive aisle. This configuration will eliminate problems caused by vehicles backing into the primary circulation path. (Figure 24)

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- i. A minimum 40-foot stacking distance shall be provided between the edge of the travel lane and the first parking space. Additional stacking distance shall be required when the driveway is used for access to drive-through lanes or loading dock areas used by large vehicles. (Figure 26)
- j. Developments should provide easily identifiable pedestrian access to building entrances and key areas within the site from the street, sidewalk, parking areas, and bus stops. (Figures 28, 30)
- k. Pedestrian walkways should be safe, visually attractive, and well defined by landscaping and lighting. (Figures 27, 28)
- l. In parking areas with six or more banks of parking stalls, pedestrian paths shall be provided within landscape islands to connect parking areas and building entries. All other pedestrian-scale amenities are encouraged in and along pedestrian paths. (Figure 23)

Access and Circulation continued

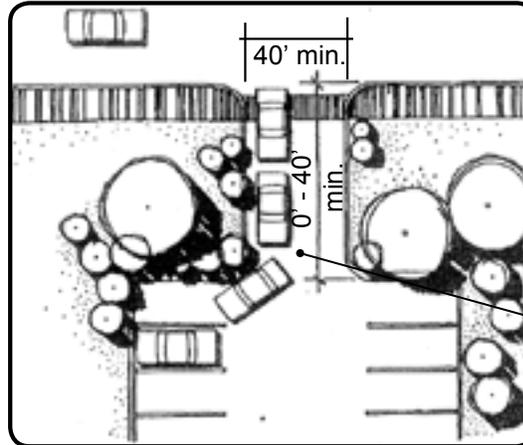


Figure 26

A minimum 40' stacking distance shall be provided between the edge of the travel lane and the first parking stall



Figure 27

The area between these buildings is landscaped and well-lit, and awnings give the space a human scale



Figure 28

A landscaped pathway provides safe access to the entrance of the building from the parking area

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Figure 29

Accent paving at the sidewalk and crosswalk create an easily identifiable pedestrian space



Figure 30

Textured accent paving creates an easily identifiable pedestrian path



Figure 31

The pedestrian path in front of the building entrance shall be a minimum of 11' deep when adjacent to head-in parking

Painted striping as the only identifier for pedestrian pathway is strongly discouraged

- m. Pedestrian drop-off areas shall be a minimum of 9 feet wide and located outside vehicle circulation aisles and pedestrian pathways. (Figure 23)
- n. Textured paving should be provided at crosswalks within the project as opposed to a painted stripe designation provided it does not conflict with ADA access requirements. (Figures 29, 31)
- o. Sidewalks at building entries should be a minimum of 7 feet wide where adjacent to head-in parking to allow for car bumper overhang. (Figure 31)
- p. The area between buildings should be designed with the pedestrian in mind. Landscaping and pedestrian scaled elements such as awnings or trellises should be integrated into the elevation and the passageway should be safely lit. (Figure 27)

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Design Guidelines

Site Planning

Guidelines:

- a. Loading facilities should be designed as an integral part of the building served and shall be in the most inconspicuous location. (Figures 32, 33)
- b. Service and loading areas should be located and designed for easy access by service vehicles, for convenient access by each tenant, and to minimize circulation conflicts with other site uses.
- c. Public circulation should not route through loading or service areas.

Loading and Service Areas

Intent:

Truck loading and material handling should be accommodated on-site in designated areas. Service and loading areas should be designed to minimize the noise, odor, and visual problems caused to adjacent buildings, properties, and streets.



Figure 32

Loading areas should be integrated with the building design



Figure 33

Commercial Guidelines

- d. Loading docks should be located as far away as possible from residential structures or private rear yards.
- e. A loading space should be provided for each restaurant site.
- f. Paved areas behind commercial buildings should be minimized to discourage accumulation of trash and stored goods. No area behind commercial buildings should be paved unless it is required for circulation, loading or service activities, or parking.
- g. If visible from public view, roll-up doors are generally discouraged.
- h. Service and roll-up doors should be painted to match the building or trim.

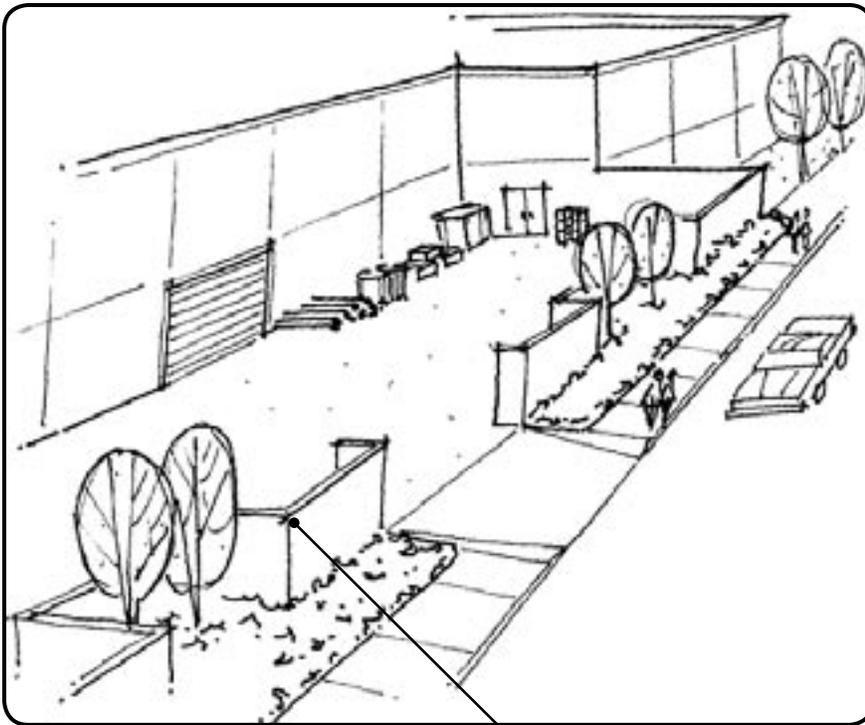


Figure 34

A screen wall enhances this loading area

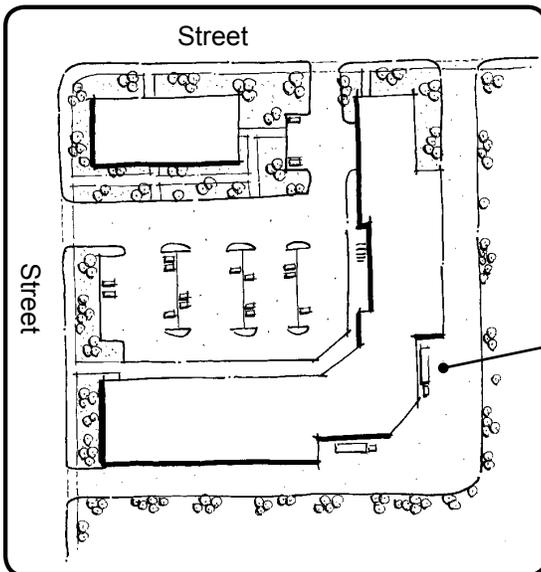


Figure 35

Loading and service areas should be located away from the street edge

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Design Guidelines

Site Planning

Guidelines:

- a. Parking areas shall provide bicycle and motorcycle parking.
- b. Dead end drive aisles shall be minimized.
- c. Parking lots adjacent to and visible from public streets shall be adequately screened from vehicle view through one or more of the following: (Figures 37, 40, 41, 42)
 - rolling earth berms (2:1 slope)
 - low screen walls
 - landscaping, or
 - changes in elevation.
- d. Screening shall be a minimum of 3 feet in height except in areas where reretention is between the street and the parking. (Figure 37)
- e. Parking areas and cars should not be the dominant visual element of the site or streetscape.
- f. Large projects should break up parking areas into a series of smaller parking areas interrupted by landscaping. (Figure 39)
- g. Large expanses of paved areas and long rows of parking spaces should be avoided.

Parking Areas

Intent:

Parking areas and circulation systems should be convenient and easily maneuverable by motorists and pedestrians. Parking areas should be landscaped to minimize summer glare and heat buildup and to reduce the negative visual impact associated with large areas of paving.



Figure 36

Pedestrian walks in parking areas

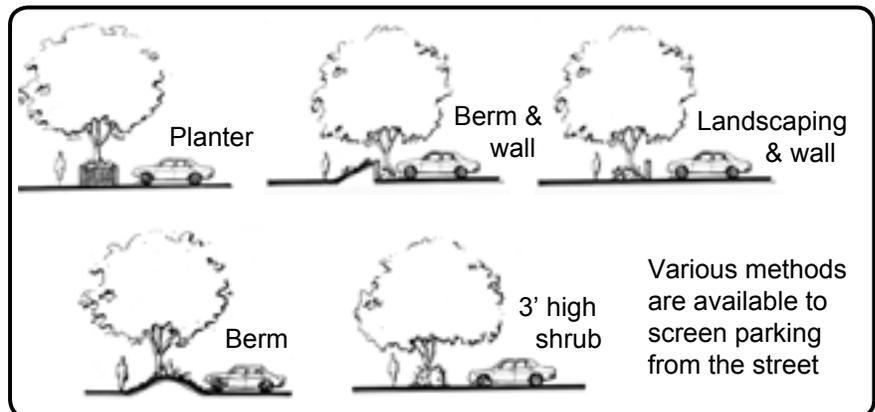


Figure 37

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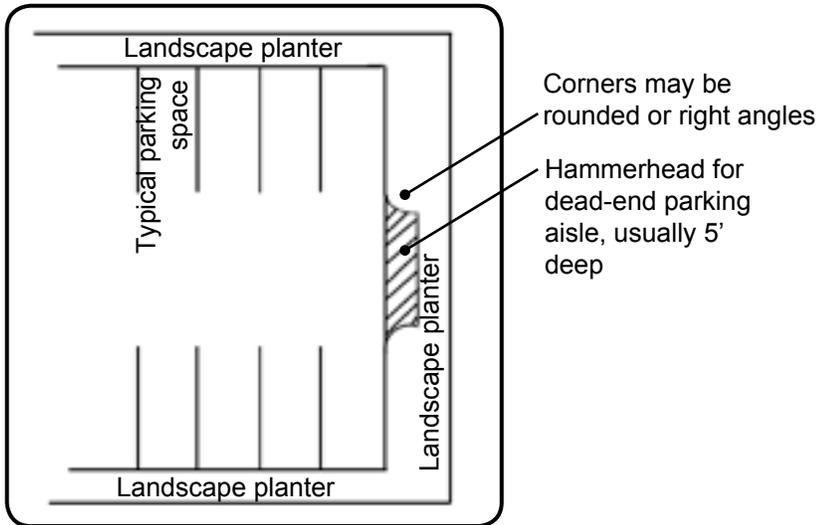


Figure 38

- h. Parking lots on corner sites should not be located near the intersection. Buildings should be placed close to, and oriented toward, the street. (Figures 39, 36)
- i. Parking at the end of dead-end drive aisles should provide a recessed area, or "hammerhead", extending five feet into the landscaping area and as wide as the drive aisle to permit vehicles to back out of the parking space and make a three-point turn. (Figure 38)

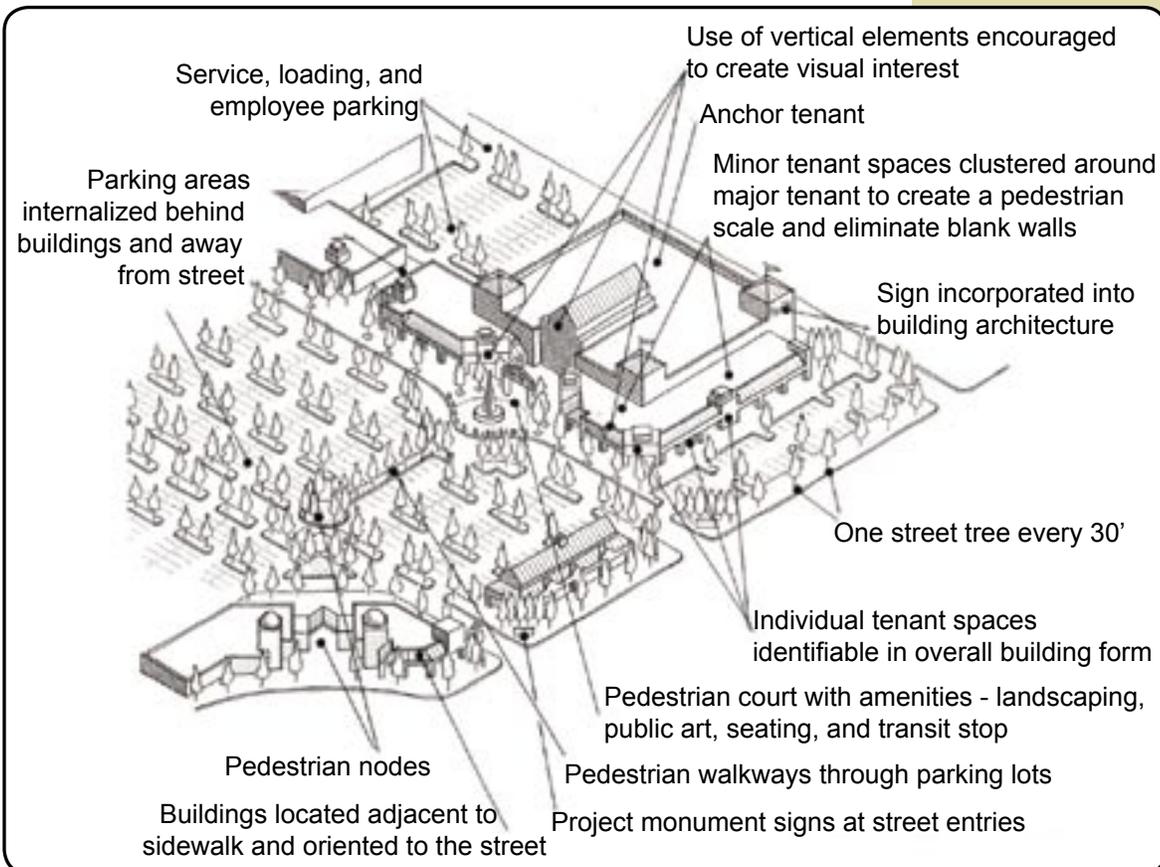


Figure 39

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Design Guidelines

Site Planning

- j. Trees shall be located throughout parking areas per the Municipal Code. (Figure 45)
- k. Landscaping within parking areas should be protected from encroaching vehicles by concrete curbing or raised planting areas. (Figure 45)
- l. A minimum of a 8-foot wide landscape planting area shall be provided at the end of each parking aisle. (Figure 43)
- m. Paving materials should be varied in texture and color where pedestrian and vehicular areas overlap. The use of stamped concrete, stone, brick, or granite pavers, exposed aggregate, or colored concrete is encouraged in parking lots to promote pedestrian safety and to minimize the negative impact of large expanses of asphalt pavement.

Parking Areas continued



Figure 40

A berm and landscaping screens this parking area from the public right-of-way

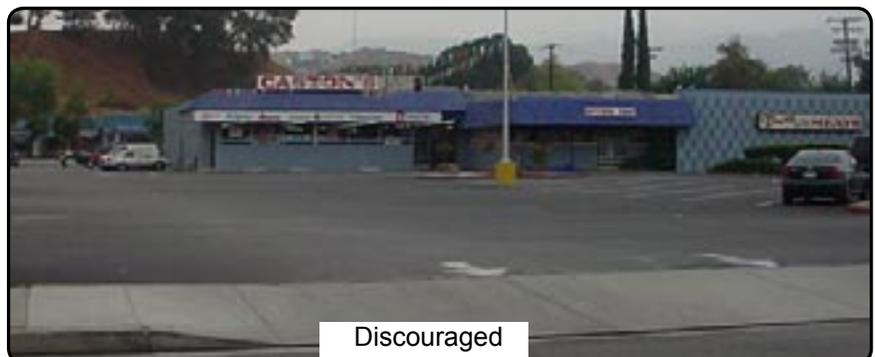


Figure 41

Parking lot has too much paving and no landscaping

Commercial Guidelines

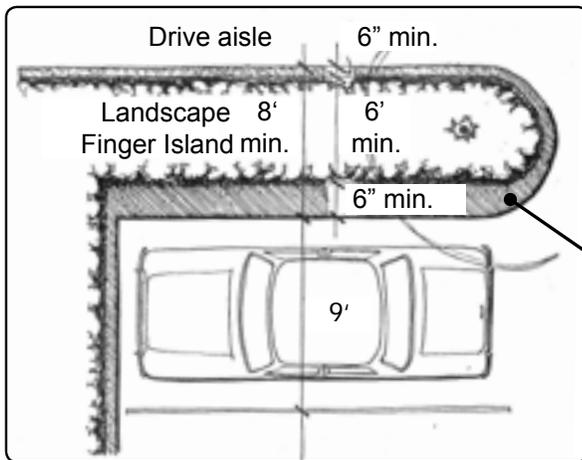


Figure 43

Landscaping finger islands should be provided 1 per 20 spaces and should be designed as illustrated



Trees planted within this parking lot create an attractive parking environment

Figure 45

- n. One landscaped finger island shall be provided per every 20 spaces. Landscape islands shall be a minimum of 5 feet (inside dimension) in width to allow for tree growth and to avoid tree trunks from being hit. (Figure 43)
- o. Raised planting areas, with a minimum interior dimension of 5 feet, should be used to separate every other double-loaded parking area.
- p. Vehicular line of sight shall be maintained in all areas throughout the parking lot.
- q. Canopy trees should be used in parking areas to reduce the impact of large expanses of paving and to provide shade, as well as to reduce glare and heat build up. (Figure 45)

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Design Guidelines

Landscaping

Guidelines:

- a. Specimen trees should be strategically planted to assist new development in looking “established” as quickly as possible.
- b. A combination of trees, shrubs, and ground cover shall be incorporated into landscaping plans. Minimum sizes are as follows: (Figures 48, 49)
- c. Landscaping should be used to:
 - define areas such as building entrances, key activity hubs, focal points, and the street edge;
 - provide screening for unattractive/unsightly service areas;
 - serve as buffers between neighboring uses; and
 - screen drive-through lanes.

Planting Areas

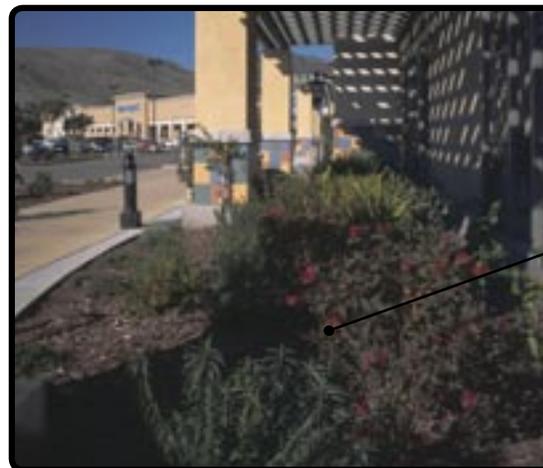
Intent:

Landscaping should be used to frame and soften structures, define site functions, enhance the quality of the environment, and screen undesirable views. In addition to these guidelines, landscape plans should consider xeriscape practices. Safety, environmental impacts, and accent elements should all be considered when selecting and locating trees and other landscaping elements.



Vines can create visual interest to otherwise large blank wall surfaces

Figure 46



Landscaping should be provided at the base of the building where there is not an entrance

Figure 47

Commercial Guidelines



Figure 48

A combination of trees, shrubs, and ground cover should be used to landscape the project



Figure 49

A landscaped parkway should be provided along the street edge to provide a buffer between the street and the sidewalk

- d. Where there is no plaza, pedestrian space, or an entrance, a landscape strip (minimum width of 10 feet) shall be provided between a building and parking/paved areas visible from public view. (Figure 47)
- e. Trees and shrubs should be located and spaced to allow for mature and long-term growth. Trees and shrub types should be selected to minimize root problems. (Figure 49)
- f. A minimum 5-foot wide planted parkway should be provided on arterial corridors between the street and sidewalk. Parkway shall be planted with shade trees to provide a more pleasant pedestrian environment and to contribute to streetscape continuity. (Figure 49)
- g. Flowering and fruit-bearing trees should be avoided in pedestrian parkways and ADA path of travel areas to maintain clear passageways. (Figure 49)

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Design Guidelines

Landscaping

- h. Walkways should be provided along paths of likely travel through landscaped areas to protect landscaping from foot traffic. (Figure 46)

- i. Trees and large shrubs shall be placed as follows:
 - a minimum of 5 feet between the center of trees or large shrubs and the edge of the driveway, water meter or gas meter, or sewer laterals;
 - a minimum of 10 feet between the center of trees or large shrubs and utility poles;
 - a minimum of 10 feet between the center of trees or large shrubs and the point of intersection of the edge of driveways and streets or walkways; and

 - a minimum of 10 feet between the center of trees or large shrubs and fire hydrants and fire department sprinkler and standpipe connections.

Planting Areas continued



Figure 50

Flowering plants should be used as accents to provide color

Commercial Guidelines

- j. Deciduous trees should be used to provide solar control during summer and winter, provide fall color, seasonal flower, and other desired effects.
- k. Flowering trees and shrubs should be used to provide color and to accent entrances. Avoid using near ADA path of travel. (Figure 50)
- l. Murals, trellises, vines, and/or espaliers should be placed on large expanses of walls at the rear or sides of buildings to break up building mass and to create visual interest.

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Design Guidelines

Landscaping

Guidelines:

- a. Use of native and low water plants, in conjunction with an efficient water system, such as drip irrigation, is strongly recommended.
- b. Drought tolerant landscaping should be incorporated wherever possible.
- d. Plants should be grouped in high and low maintenance zones and coordinated with irrigation plans to minimize the use of water and the placement of irrigation tubing.
- e. Irrigation systems should be designed to apply water slowly to allow plants to be deep watered and to reduce runoff. Drip systems should be used in all areas except turf irrigation and small ornamental planting.

Irrigation and Water Conservation

Intent:

Water conservation techniques shall be incorporated into all landscape plans. Examples of these techniques include drought tolerant plant materials, automatic controller, drip irrigation, or matched precipitation rate sprinkler heads.



Figure 51

A combination of inorganic ground cover and landscaping should only occur in a maximum of 15% of the total landscaped area

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- f. All landscaped areas shall have automatic irrigation systems installed to ensure plant material survives.
- g. Irrigation systems shall be designed to prevent overspray onto walkways, parking areas, buildings, and fences.
- h. Inorganic ground cover (gravel, bark, or crushed rock) should only be used as an accent material. No more than 15 percent of the total landscape area should consist of such materials, and, if used, the materials should be used in combination with live plants. (Figure 51)
- i. Ground cover should be used to provide the finishing treatment to landscape areas. (Figure 51)

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Design Guidelines

Building Design

Guidelines:

- a. Project designs should provide aesthetically pleasing architectural styles and details versus contemporary, “no style” interpretations.
- b. Corporate "chain" tenants shall design buildings to fit the scale and character of the community.
- c. Buildings within commercial centers or campus-style industrial parks should be designed to complement one another. This coordination may include the common use of roofing material, roof pitch, exterior finish material, and consistent color palettes.

Design Theme

Intent:

The architectural design of a building should positively respond to North Logan’s Commercial Design Guidelines. In addition, special care should be taken to achieve compatibility of larger buildings next to small scale buildings. Projects should possess a distinguishable identity and identifiable design theme.

Commercial Guidelines

- d. A commercial complex should have a consistent architectural style with individual buildings designed with complementary forms and materials.

- e. All sides of commercial buildings in highly visible locations, such as at project entries, should receive equal design consideration and treatment (360-degree architecture).

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Building Design

Guidelines:

- a. To divide the building mass into smaller scale components, buildings shall reduce the perceived height and bulk by one or more of the following: (Figures 52, 53)
 - a change of roof or wall plane;
 - projecting or recessed elements;
 - varying cornice or rooflines; or
 - other similar means.

Building Form

Intent:

Variation in building forms shall occur with changes in wall planes and roof planes in order to create distinctive massing within the building. (Figure 54)



Figure 52

Multiple and unique building and roof forms divide the building mass and enhance the buildings elevations

Commercial Guidelines



Figure 53

Changes in the roof and wall planes of large buildings create the appearance of several smaller buildings

Pilasters and recessed areas (blind arcade) create some visual interest on an otherwise blank wall surface

- e. Vertical elements should be used on large monolithic structures to break up the boxlike appearance and to give the appearance of several smaller buildings (Figure 53)
- f. Surface detailing, such as score lines, should not serve as a substitute for distinctive massing.
- g. Where feasible, minimize the visual impact of large monolithic structures by creating a cluster of smaller buildings or the appearance of a series of smaller attached buildings. (Figure 53)
- h. Blind arcades that face roads or views from public places should incorporate additional architectural treatments.

<u>Desirable Building Elements</u>	<u>Undesirable Building Elements</u>
Significant wall articulation (insets, pop-outs, wing walls)	Large blank, flat wall silhouettes
Multi-planed pitched roofs	Flat roofs without decorative cornice or parapet
Full roof treatments	Unpainted concrete or cinder block walls
Roof overhangs, arcades	Highly reflective surfaces
Articulated mass and bulk	Square "box-like" buildings
High quality wall materials	Mixing of unrelated exterior materials (i.e. rustic wood shingles with modernistic chrome detailing)
Courtyards and plazas	Exposed pipe columns
Tower elements	

Figure 54

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Building Design

Guidelines:

- a. Buildings with flat or low-pitched roofs shall incorporate parapets or architectural elements to break up long horizontal rooflines.
- b. Rooflines shall be broken at intervals by changes in height or stepbacks. (Figure 57)
- c. Variation in roof form is encouraged to create interest, lessen the mass of the building, and add visual appeal. (Figure 57)

Roof Forms

Intent:

Roof forms should be used to distinguish various building forms and to help to break up the massing of the building. Full roofs should be used whenever possible

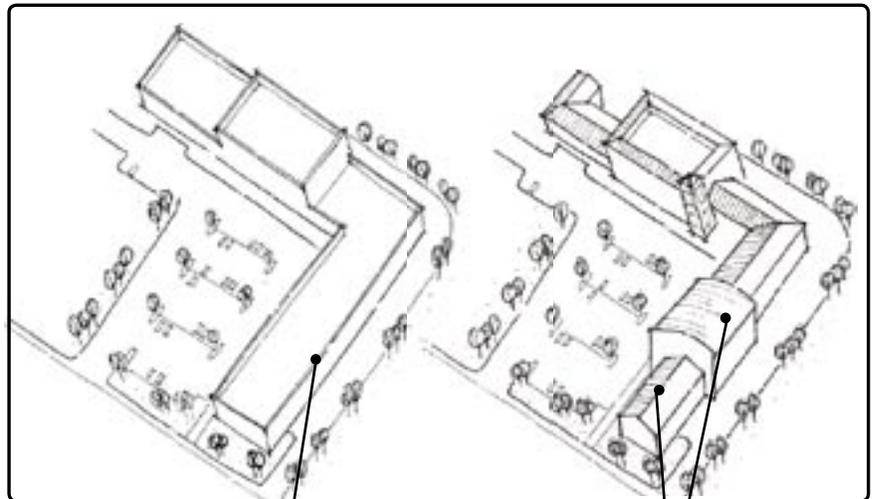


Figure 55

Buildings should avoid long, continuous walls, and box-like design

Break up long expanses with variety in building height, volume, and roof type

Commercial Guidelines

- d. Deep roof overhangs are encouraged when appropriate to the architectural style of the building. (Figures 56, 57)
- e. Roof elements should continue all the way around the building and not just be used in the most visible locations. Roof elements should be combined with wall elements to unify all sides of the building. (Figure 55)



Figure 56

Variation in roof form is encouraged to create interest, lessen the mass of the building, and add visual appeal

Deep roof overhangs are encouraged when appropriate to the architectural style of the building



Figure 57

Multiple roof forms and changes in the wall planes reduces the overall scale of the building

North Logan City

Design Guidelines

Building Design

Guidelines:

- a. If the interior side of a parapet is visible from pedestrian view, it shall have a finished appearance.
- b. Parapets should include one or more of the following detail treatments: pre-cast elements, continuous banding or projecting cornices, dentils, caps, variety in pitch (sculpted), other horizontal decoration, and/or clean edges with no unfinished flashing. (Figures 58, 60, 61)
- c. Parapets should not appear “tacked on” and should convey a sense of permanence. (Figures 58, 61)

Parapet Roofs

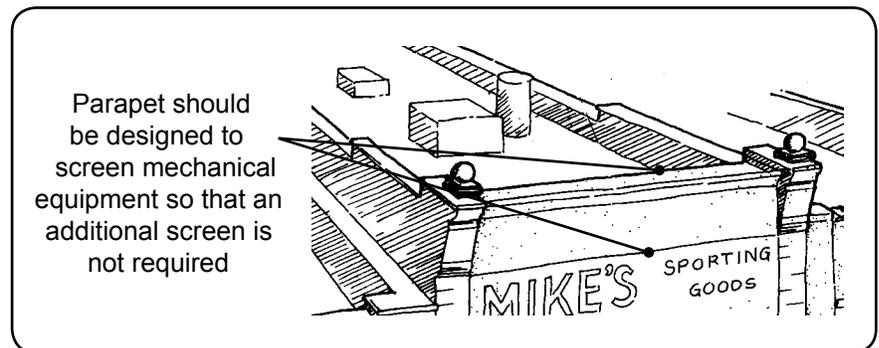
Intent:

Parapets should be finished with cornices, caps, or similar detail to provide a finished look to the roof plane.



Parapet has a finished edge

Figure 58



Parapet should be designed to screen mechanical equipment so that an additional screen is not required

Figure 59

Commercial Guidelines

- d. Rooflines shall be designed to screen roof mounted mechanical equipment. All screening shall be constructed consistent with the materials of the building and shall be designed as a continuous component. (Figure 59)



Figure 60

Parapets should be designed with a cap, cornice or similar detail to provide a finished edge



Figure 61

North Logan City

Design Guidelines

Building Design

Guidelines:

- a. Windows and doors should be proportionate to the building elevation.
- b. Doors and windows should be enhanced by the use of accent trim. (Figure 62)
- c. Window type, material, shape, and proportion should complement the architectural style of the building.
- d. Where appropriate to the architectural style, windows shall be inset from building walls to create shade and shadow detail. The minimum inset shall be three inches. (Figure 62)

Windows, Doors, and Entries

Intent:

All entries accessible to the general public should be pronounced and easily recognizable.



The trim, projecting sill, and recessed window enhance this window

Figure 62



Building entrances should be emphasized

Figure 63

Commercial Guidelines

- g. Project icons, thematic pilasters, special paving treatment, water features, and specialty landscaping should be used at building and common space entryways to unify a project.
- h. Main building entrances should be emphasized using lighting, landscaping, and architecture. (Figure 63)
- i. Upper floor entries at the street frontage should have a distinct design that complements the main building frontage. (Figure 64)
- j. Stairways should be designed as an integral part of the overall architecture of the building. Stairways should complement the building's mass and form. (Figures 64)

The stairwell should be designed as an integral part of the overall architecture



Figure 64

North Logan City

Design Guidelines

Building Design

Guidelines:

- a. Entry design should incorporate two or more of the following methods: (Figure C-67)
 - change in wall / window plane;
 - placement of art or decorative detailing;
 - a projecting element above the entrance;
 - a change in material or detailing;
 - implementation of architectural elements such as flanked columns or decorative fixtures;
 - recessed doors, archways, or cased openings;
 - a portico or formal porch either projecting from or set into the surface; or
 - changes in the roofline, a tower, or a break in the surface to a wall.

Storefront Design

Intent:

Well-designed storefronts, including windows, doors, wall composition, colors, and materials, are very important to create a sense of entry and pedestrian scale. It is important that the main entrance to a building is clearly identifiable and unique, as it is the primary point of arrival.



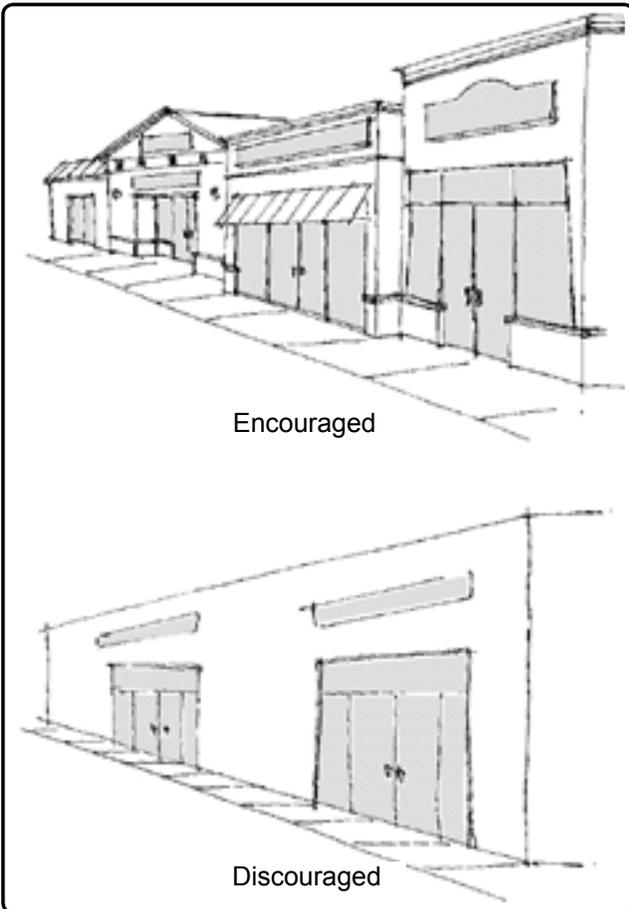
Figure 65

Accent tiles or similar decorative paving is encouraged where entries are recessed



Figure 66

Recessed entries are strongly encouraged



Encouraged

Discouraged

Individual storefronts should be well defined with changes in wall planes, rooflines, and materials or detailing

Figure 67

North Logan City

Design Guidelines

Building Design

Guidelines:

- a. Acknowledging sensitivity to budget, it is expected that the highest level of articulation will occur on the front façade; however, similar and complementary massing, materials, and details should be incorporated into every other building elevation visible to the public. (Figures 70, 69)
- b. There should be no blank walls on any side of any building within a project.
- c. Architectural details and materials on lower walls that relate to human scale, such as arches, trellises, or awnings, should be utilized. (Figure 68)
- d. Architectural elements, such as overhangs, trellises, projections, awnings, insets, material, texture, and color, shall be used to create shadow patterns that contribute to a building's character. (Figures 69, 70)

Articulation

Intent:

Building designers shall incorporate 360-degree architecture in all buildings and remodels. 360-degree architecture is the full articulation of all building facades. This includes variation in massing, roof forms, and wall planes, as well as surface articulation.



Figure 68

The balcony enhances this facade



Figure 69

The awnings provide shade and contribute to this building's character



Figure 70

Buildings should be designed with 360-degree architecture

A store design should utilize a variety of architectural elements to create an interesting, varied frontage for a large building

Commercial Guidelines

- e. Buildings should be designed so that the structures do not “turn their backs” to the street. 360-degree architecture is encouraged for buildings placed on prominent corners and project entryways.
- f. A minimum 8-foot vertical clearance between the sidewalk and the lower most portion of an awning or similar form of hanging articulation shall be maintained. (Figure 69)

North Logan City

Design Guidelines

Building Design

Guidelines:

- Material changes shall occur at intersecting planes, preferably at the inside corners of changing wall planes or where architectural elements intersect, such as a chimney, pilaster, projection, or fence line. (Figure 72)
- Roof materials and colors shall be consistent with the desired architectural style. (Figures 71, 73)
- The use of materials and color should convey a sense of quality architecture and permanence. (Figure 74)
- Materials and colors should be used to enhance different parts of a building's façade. (Figures 73, 74)

Materials and Colors

Intent:

Commercial projects should appear to be made of high quality and authentic materials. In addition, the use of durable materials requiring low maintenance is strongly encouraged.



Stone facade and exposed beams contribute to the unique character of this building

Figure 71

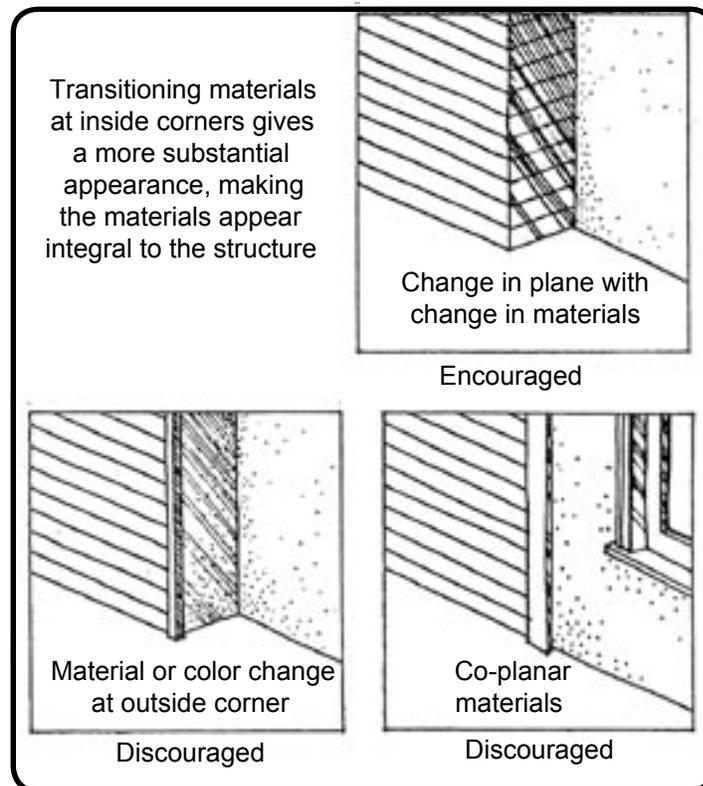


Figure 72

Commercial Guidelines

Material and color changes occur at a change in wall plane

Multiple colors used on building facades



Figure 73

Heavy material and building base

Variation in materials and colors enhance different parts of this building's facade and heavier materials are used to define the base of the building



Figure 74

- e. Heavier materials should be used lower on the elevation to form the building base. (Figures 73, 74)
- f. Materials that are highly resistant to damage, defacing, and general wear and tear, such as precast concrete, stone masonry, brick, and commercial grade ceramic tile, should be used at the base of the building.
- g. Colors used on exterior facades should be harmonious. Contrasting colors are encouraged to accentuate details.
- h. Fluorescent paints and bright colors are strongly discouraged.

North Logan City

Design Guidelines

Utilitarian Aspects

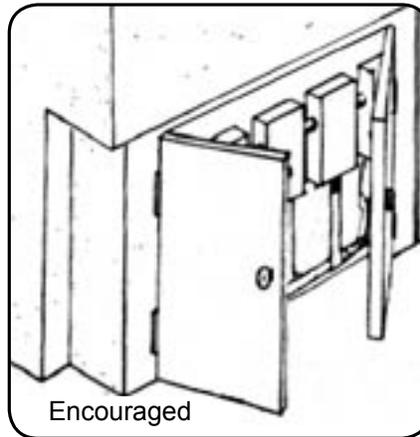
Guidelines:

- a. Transformers shall be well screened (per utility company standards and approval) and placed in the rear or side yard area. (Figures 77, 78)
- b. Mechanical equipment including gas meters, electrical meters, cable boxes, junction boxes, irrigation controllers, and roof access ladders shall be located within a utility room. Where this location cannot be achieved, these features shall be designed as an integral part of the building on a rear or side elevation and screened from public view. (Figures 75, 76)

Utilities

Intent:

Utilitarian aspects of the project should be aesthetically screened from view.



Encouraged

Figure 75



Discouraged

Figure 76

Mechanical equipment shall be located within a utility room and not left exposed on the side of the structure

Commercial Guidelines

- c. Per City of North Logan Fire Department requirements, fire risers shall be located in a separate room with direct exterior access. The fire riser and fire alarm panel are the only items that may be located in this room.
- d. Reduced pressure back-flow assemblies (backflow preventers) for landscape irrigation and domestic water shall not be located at visually prominent locations (such as the end of drive aisles or at site entries) and shall be well-screened with shrubs, berming, or low screen walls. (Figures 78, 79)



Figure 77



Figure 78



Figure 79

Transformers and other outdoor equipment shall be screened from view

North Logan City

Design Guidelines

Utilitarian Aspects

Guidelines:

- a. Fences and walls should be minimized along public streets. (Figure 80)
- b. All exterior perimeter walls located along public streets shall have an offset a minimum of 5 feet deep for every 50 feet to 75 feet of wall, depending on the length of the wall..
- c. All non-transparent perimeter walls and/or fences should be articulated with similar materials and details on both sides and shall incorporate landscaping whenever possible.
- d. All fences and walls required for screening purposes should be of solid material. (Figures 98, 81, 82)
- e. Retaining walls that are 4 feet high or more shall be of concrete, masonry, or masonry system. (Figure 82)
- f. Where security fencing is required, it shall be a combination of solid pillars or short, solid wall segments and wrought iron grillwork.

Walls and Fences/Screening

Intent:

Walls and fences should only be used when necessary for security and screening purposes.



Figure 80

Tall, straight sound walls adjacent to the street edge are not permitted

The use of various materials, projecting pilasters, vines, landscaping, inset areas, and wall caps contribute to the aesthetic qualities of sound walls



Figure 81

A low rock wall makes a nice buffer between uses and provides attractive screening

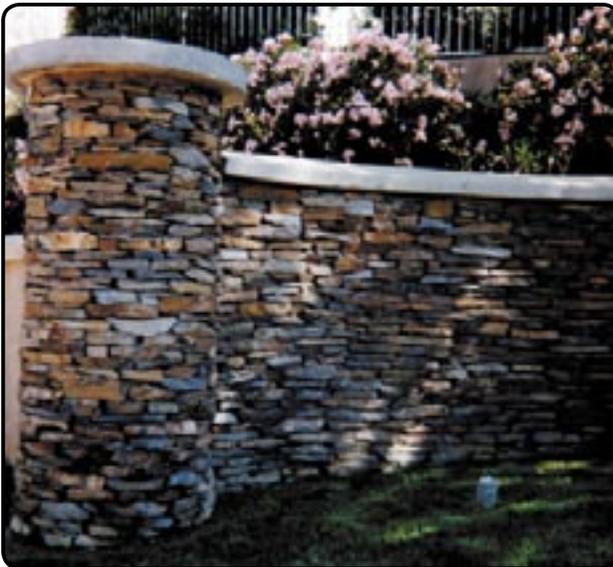


Figure 82

Materials and colors that complement the buildings should be used on wall surfaces

Commercial Guidelines

- g. Chain link or similar metal wire fencing with slats is prohibited for screening purposes.
- h. Fences and walls should be constructed as low as possible while still performing screening, noise attenuation, and security functions.
- i. Walls on sloping terrain should be stepped to follow the terrain.
- j. To bring continuity to the overall street scene, similar elements, such as columns, materials, and cap details, should be incorporated on perimeter walls that transition from one development to another.
- k. Fences and walls should be designed with materials and finishes that complement project architecture.
- l. Screen walls shall not be located where the wall block the sight lines of drivers entering, leaving, or driving through the site and should comply with North Logan City's site triangle standards.

North Logan City

Design Guidelines

Utilitarian Aspects

Guidelines:

- a. Trash enclosure areas should be carefully designed, located, and integrated into the site plan.
- b. Trash enclosures should be designed with similar finishes, materials, and details as the primary buildings within the project. (Figures 83, 84)
- c. Enclosures shall be located away from adjacent residential uses to minimize nuisances to neighboring properties.
- d. Enclosures shall be separated from adjacent parking stalls with a minimum 5-foot wide (interior clear dimension) planter. This will ensure adequate space is available for individuals to access the vehicle.

Trash Enclosures

Intent:

Trash enclosures should be carefully designed, located, and integrated into the site plan.



Figure 83

Colors and materials used in the design of the trash enclosures complement the project architecture



Figure 84

Commercial Guidelines



Figure 85

A chain link fence with wooden slats is not a permitted screening material

- g. Chain link fencing and gates with slats shall not be used. (Figure 85)
- h. Enclosures should be unobtrusive and conveniently located for trash disposal by tenants and collection by service vehicles.
- i. Enclosures should not be visible from primary entry drives.
- j. Enclosures should not be located at the end of “dead-end” drive aisles.



Figure 86

A pedestrian entrance should be provided to limit the opening of large access doors

North Logan City

Design Guidelines

Utilitarian Aspects

Guidelines:

- a. All lighting shall be shielded to minimize glare upon neighboring properties. The shield shall be painted to match the surface to which it is attached.
- b. Light fixtures shall be architecturally compatible with the building design. (Figure 88)
- c. All building entrances, parking lots and access, walkways and plazas shall be well lit.
- d. Light fixtures shall be sited, directed, and/or shielded to prevent spot lighting, glare, or light spillage beyond property lines.
- e. Lighting fixtures shall be shown on the landscaping plans.
- f. The lighting of building elements and trees is an effective and attractive lighting technique that is encouraged; however, light sources for wall washing and tree lighting should be hidden.

Lighting

Intent:

Lighting levels should be sufficient for the safety of site occupants and visitors but should not spill onto adjacent properties. All lighting in the City must meet the requirements of the North Logan Night Sky Lighting Ordinance.



Figure 87

Walkways are to be illuminated to ensure safe nighttime conditions



Lighting should complement the architectural style of the building

Figure 88



Figure 89

The height of lamp poles shall be appropriate in scale for the surrounding area

Commercial Guidelines

- i. Wall washes, lighted roof panels, internally illuminated awnings, and other methods of illuminating buildings are discouraged.
- j. The design of parking lot lighting fixtures shall be compatible with the architecture used in the development. (Figures 87, 89)
- k. Use the latest lighting technology to minimize the brightness of lighting.
- l. The height of lamp poles shall be appropriate in scale for the building or complex and the surrounding area. Where adjacent to residential uses, light poles shall not exceed 15 feet. (Figures 87, 89)
- m. Security lighting fixtures shall not project above the fascia or roofline of the building.
- n. Security lighting fixtures shall not be substituted for parking lot or walkway lighting fixtures.
- o. Low-voltage/high efficiency lighting should be used in the landscape whenever possible.

North Logan City

Design Guidelines

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